



NORTHSIDE INDEPENDENT SCHOOL DISTRICT

ADDENDUM No. 1

PROJECT NAME: **TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS**

RFCSP# **2024-008**

DATE: 01/20/2025

This Addendum 1 shall be included in and considered part of the solicitation documents for the construction of the Tennis Court Upgrades at William J. Brennan HS, William P. Hobby MS, & Earl Rudder MS project. This addendum is separated into sections for convenience, however, all contractors, subcontractors, material men, and other parties shall be responsible for reading the entire addendum. The failure to list an item or items in all affected sections of this addendum does not relieve any party affected from performing as per instructions, providing that the information is set forth one time any place in this addendum. These documents shall be attached to and become part of the Contract Documents for this project. The contractor shall be required to acknowledge the receipt of this addendum by signing the Addendum No.1 Acknowledgement Form (attached hereto) and submit with its bid.

GENERAL:

1. The following changes and/or additions to the Contract Documents, via this addendum, shall apply to proposals made for and to the execution of the various part of the work affected thereby.
2. Careful note of the Addendum shall be taken by all interested parties and all trades affected shall be fully advised in their performance of the work involved.

SPEIFICATIONS:

1. Invitation to Offerors-Revised Pre-Proposal Conference meeting date and time.

ATTACHMENTS:

- Revised Invitation to Offerors

END OF ADDENDUM NO. 1



ACKNOWLEDGEMENT FORM

RECEIPT OF ADDENDUM NUMBER(S) 1 IS HEREBY ACKNOWLEDGED BY THE UNDERSIGNED REGARDING THE SOLICITATION OF THE CONSTRUCTION OF **TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS** FOR WHICH BIDS ARE SCHEDULED TO BE OPENED ON **TUESDAY, FEBRUARY 04, 2025 AT 2:00 P.M.**

THIS ACKNOWLEDGEMENT FORM MUST BE SIGNED AND RETURNED WITH CONTRACTOR'S BID PACKAGE.

Company Name: _____

Address: _____

City/State/Zip Code: _____

Date: _____

Signature

Print Name/Title

NORTHSIDE INDEPENDENT SCHOOL DISTRICT

*Dr. John M. Craft, Superintendent
5900 Evers Road, San Antonio, Texas 78238*

FACILITIES AND OPERATIONS DEPARTMENT

*Jacob Villarreal, P.E., Assistant Superintendent for Facilities & Operations
Enrique Jimenez, P.E., Executive Director of Construction & Engineering
5900 Evers Road
San Antonio, Texas 78238
Telephone: (210) 397-1200 (Facilities); (210) 397-1240 (Engineering)
Facsimile: (210) 257-1212*

PURCHASING DEPARTMENT

*Andrea Tena, Director of Purchasing
607 Richland Hills Dr. #700
San Antonio, TX 78245-2149
Telephone: (210) 397-8710; Facsimile: (210) 706-8834*

CONSULTANT

*Bain Medina Bain, Inc.
7073 San Pedro. Ave.
San Antonio, Texas 78216*

Date: January 08, 2025

RFCSPP No. 2025-008

INVITATION TO OFFERORS (Competitive Sealed Proposals)

1. **REQUEST FOR COMPETITIVE SEALED PROPOSALS (RFCSPP):** *The Northside Independent School District ("NISD" or "Owner") of Bexar County, Texas proposes to construct a Tennis Court Upgrades at William J. Brennan HS, William P. Hobby MS, & Earl Rudder MS ("Project") and is requesting competitive sealed proposals for the work pursuant to Chapter 2269 of the Government Code. The Owner may select the Proposal that offers the "best value" for the District based on the published selection criteria, weight of criteria, and on its ranking evaluation. Prior to approval of the recommended Offeror by the Board of Trustees, the District's representative Owner may attempt to negotiate a contract and discuss options for scope or time modifications and price change(s) associated with the modification(s) if proposed prices are more than the District's budget for the project. Proposals are to be submitted in accordance with this invitation and the accompanying instructions. Northside facilities are accessible to disabled persons. To arrange for special assistance for this meeting, the Pre-Proposal Conference, and any other meeting, or if you have questions regarding accessibility, please contact the Facilities & Operations Department in advance of the meeting.*

2. **DESCRIPTION OF PROJECT:** *The Project is generally described as follows: Full Reconstruction of Tennis Courts (Hobby MS), Crack Sealing and Resurfacing of the Existing Tennis Courts (Brennan HS & Rudder MS), Repaint Tennis Courts (Brennan HS & Rudder MS), Removal/Replacement of New Tennis Court Poles/Nets (all), and Reinstalling Backboards (all) as indicated on the drawings and specifications to include all general construction, site work, heating, air conditioning, electrical, plumbing and all other work as indicated on the construction documents.*

3. **TIME OF COMMENCEMENT AND COMPLETION:** The Project must be complete and ready for occupancy not later than July 28, 2025 assuming that the successful Offeror is given notice of its top ranking on or before **February 26, 2025**. Any proposal must provide for final completion by this date. The Notice to Proceed may be issued up to 45 consecutive calendar days following the Notice of Award. Work cannot begin prior June 02, 2025 and NISD notification. The Contractor shall take this period into account in the preparation of its Proposal. No claim for additional time shall be considered unless this period is exceeded.

Alternately, Offerors may be asked to submit the number of calendar days required for completion of the Work, if completion of the Work shall be prior to such date.

4. **ESTIMATED PROJECT BUDGET:** \$420,000.00, based on the Plans and Specifications dated January 08, 2024, Job No. 2025-008 prepared by Bain Medina Bain, Inc. ("Consultant").

5. **PRE-PROPOSAL CONFERENCE:** A Voluntary Pre-Proposal Conference will be conducted at 8:00 a.m. on January 23, 2025 at NISD Engineering Services, 5900 Evers Rd. Building E, San Antonio, Texas, 78238. For details, please refer to NISD Purchasing Website. All persons desiring to submit a proposal are encouraged to attend this conference. The District's responses to questions received at or before the Pre-Proposal Conference may be distributed at the Pre-Proposal Conference, and later questions will be distributed via addendum, where applicable.

6. **PROPOSAL DOCUMENTS:** General Contractors may obtain up to two (2) sets of Proposal Documents from the office of the Consultant upon receipt by Consultant of a deposit, in the form of cash or a check, payable to Consultant in the amount of \$100.00 for each set which shall be refundable provided the General Contractor submits a valid proposal and also provided that the Contract Documents are returned to the Consultant in good condition within ten (10) days after the date of receipt of proposals. Subcontractors and suppliers may obtain up to one (1) set of Proposal Documents from the office of the Consultant upon receipt by Consultant of a deposit, in the form of cash or a check, payable to Consultant in the amount of \$100.00 for each set which shall be refundable provided the subcontractor or supplier submits a valid proposal and also provided that the Contract Documents are returned to the Consultant in good condition within ten (10) days after the date of receipt of proposals. Additional sets may be purchased from the Consultant by General Contractor, subcontractor or supplier at the cost of \$100.00 per set. All payments shall be made payable to the order of Bain Medina Bain, Inc. No partial sets of bid documents will be issued, and the Owner and/or Consultant will have no responsibility for errors or misinterpretations resulting from the use of incomplete sets of documents. If the Proposal Documents are timely returned but in poor condition, a reasonable amount for the cost of reproduction will be deducted from the amount of deposit and the remaining balance will be refunded to the General Contractor, subcontractor or supplier. If the Proposal Documents are not timely returned to Consultant, or if a proposal is not submitted, the deposit will be forfeited.

In addition to the above, copies of the "Proposal Documents" may be examined during normal business hours at the following location:

Virtual Builder's Exchange, LLC
4047 Naco Perrin Blvd., Ste. 100
San Antonio, Texas 78217
Telephone: (210) 564-6900

7. **SCHEDULE FOR PROPOSAL RECEIPT AND OPENING OF PROPOSALS:** All proposals must be delivered in person or by United States mail, and finalized prior to the closing time. Proposals received by oral, telephonic, facsimile, or other electronic means are invalid and will not receive consideration. All documents required to be submitted as set forth in the Instructions to Offerors must be finalized prior to the closing time. Submittals shall be enclosed in a sealed, opaque envelope, addressed to the **“Board of Trustees for Northside Independent School District”** at the address specified below and identified as a proposal for the Tennis Court Upgrades at William J. Brennan High School, William P. Hobby, and Earl Rudder Middle Schools, RFCSP No. 2025-008. If the proposal is delivered other than by personal delivery, the sealed envelope shall be enclosed in a separate envelope clearly notated **“Sealed Proposal Enclosed”** on the face thereof. All proposals must be delivered to Owner at the following address:

Ms. Andrea Tena
Northside Independent School District
Purchasing Department
607 Richland Hills Dr., Ste. 700
San Antonio, TX 78245-2149

Proposals will be received by the Owner until February 04, 2025 at 2:00 p.m. At such time, all proposals timely received shall be publicly opened and the name of the Offeror and the monetary terms of the proposal read aloud. Each Offeror shall assume full responsibility for timely delivery of its proposal to the location designated for receipt of proposal. Proposals received after the date, time, or at the wrong location, will not receive consideration and will be returned unopened. Should you have any questions regarding the bidding process, please contact the Purchasing Department via telephone at (210) 397-8710 or via email at purchasing@nisd.net.

Attachments herein may not be required at Proposal Opening but will be required once the project is awarded or upon completion of the project.

8. **PROPOSAL SECURITY:** Each proposal must be accompanied by proposal security in the amount of five percent (5%) of the total proposal, including all additive alternatives, pledging that the successful Offeror will, within 30 calendar days after the successful Offeror is notified of receipt of its proposal, enter into a written contract with the Owner on the terms stated in the “Proposal Documents”, as evidenced by the unconditional execution and delivery of such contract, and furnish payment and performance bonds, evidence of insurance and other submittals as required by the “Proposal Documents”. Should the successful Offeror fail or refuse to enter into such contract or furnish such bonds or evidence of insurance within the time above-stated, such proposal security shall be forfeited to the Owner as damages, not as a penalty. Such proposal security shall be in the form of cash, certified funds payable to the order of the Owner, or a bond in favor of the Owner. The bond shall be on AIA Document A310 “2010 Edition,” and shall be issued by a corporate surety duly authorized and admitted to do business in the State of Texas, and licensed by the State of Texas to issue surety bonds and to be an executed original. If the amount of the bond exceeds the legal underwriting limitation of the surety, the Offeror and the surety shall provide the Owner with evidence that the excess is reinsured with one or more reinsurers who are duly authorized, accredited, and licensed to do business in the State of Texas. Any proposal which is not accompanied with proposal security in the form and amount required herein shall be rejected as nonconforming. The Owner shall have the right to retain the security of all Offerors to whom an award is being considered until either (i) the Contract has been unconditionally executed and delivered by the parties and any required payment and performance bonds, evidence of insurance and other submittals have been furnished, or (ii) all proposals have been rejected by the Owner without the acceptance of any proposal.



NORTHSIDE INDEPENDENT SCHOOL DISTRICT

ADDENDUM No. 2

PROJECT NAME: TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS

RFCSP# 2025-008

DATE: 01/26/2025

This Addendum 2 shall be included in and considered part of the solicitation documents for the construction of the Tennis Court Upgrades at William J. Brennen HS, William P. Hobby MS, & Earl Rudder MS project. This addendum is separated into sections for convenience, however, all contractors, subcontractors, material men, and other parties shall be responsible for reading the entire addendum. The failure to list an item or items in all affected sections of this addendum does not relieve any party affected from performing as per instructions, providing that the information is set forth one time any place in this addendum. These documents shall be attached to and become part of the Contract Documents for this project. The contractor shall be required to acknowledge the receipt of this addendum by signing the Addendum No.2 Acknowledgement Form (attached hereto) and submit with its bid.

GENERAL:

1. The following changes and/or additions to the Contract Documents, via this addendum, shall apply to proposals made for and to the execution of the various part of the work affected thereby.
2. Careful note of the Addendum shall be taken by all interested parties and all trades affected shall be fully advised in their performance of the work involved.

QUESTIONS:

1. Will temporary fencing be needed for this project?

Response: Yes, please include temporary fencing in the base bid to secure the whole construction site.

QUESTIONS:

1. **Revised Sheet C-1.0H.** Standard Construction Note #5 was changed and clarified. This note will be understood to apply to all three campuses in this project.

ATTACHMENTS:

- Sign-in sheet from the Pre-Proposal Conference held January 23, 2025
- Sheet C-1.0H Existing Site Plan

END OF ADDENDUM NO. 2



ACKNOWLEDGEMENT FORM

RECEIPT OF ADDENDUM NUMBER(S) 2 IS HEREBY ACKNOWLEDGED BY THE UNDERSIGNED REGARDING THE SOLICITATION OF THE CONSTRUCTION OF **TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS** FOR WHICH BIDS ARE SCHEDULED TO BE OPENED ON **TUESDAY, FEBRUARY 04, 2025 AT 2:00 P.M.**

THIS ACKNOWLEDGEMENT FORM MUST BE SIGNED AND RETURNED WITH CONTRACTOR'S BID PACKAGE.

Company Name: _____

Address: _____

City/State/Zip Code: _____

Date: _____

Signature

Print Name/Title

²³
Date & Time: January 21, 2025 @ 8:00 am

RFCS #2025-008

Project Name: Tennis Court Upgrades at Brennan HS, Hobby MS & Rudder MS



NORTHSIDE INDEPENDENT SCHOOL DISTRICT
Facilities Department

Meeting Type

- Consultant Kickoff
- Design Review
- Pre-Proposal Conference
- Pre-Construction Conference
- Substantial Completion
- Warranty Walk
- Other _____

PRINT NAME (Please PRINT)	COMPANY NAME	PHONE #	Email
1 Tom Ussery	NISD	O: C: 210-825-2221	thomas.ussery@nisd.net
2 Russell Rincon, P.E.	Bain Medina Bain	O: 210-494-7223 Ext 228 C:	rrincon@bmbi.com
3 <i>Ronnie Rhode</i>	<i>R. Rhode Co. C. Inc</i>	O: <i>210-649-3130</i> C:	<i>estimating@rlrhode.com</i>
4		O: C:	
5		O: C:	
6		O: C:	
7		O: C:	
8		O: C:	
9		O: C:	
10		O: C:	
11		O: C:	
12		O: C:	
13		O: C:	
14		O: C:	

STANDARD CONSTRUCTION NOTES:

- CONFLICTS IN THE PLANS AND/OR SPECIFICATIONS FOUND BY THE CONTRACTOR SHALL BE PROMPTLY REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- BIDDERS ARE HEREBY NOTIFIED TO MAKE SUBSURFACE INVESTIGATIONS AS THEY DEEM NECESSARY. NO ADDITIONAL PAYMENT SHALL BE MADE FOR ROCK, SAND, GRAVEL OR OTHER UNSTABLE CONDITIONS ENCOUNTERED IN EXCAVATION.
- CONTRACTOR IS TO MAINTAIN UNRESTRICTED DRAINAGE OF THE PROJECT SITE AND ADJACENT AREAS DURING CONSTRUCTION.
- AFTER COMPLETION OF ALL WORK, THE CONTRACTOR SHALL REMOVE ALL DEBRIS FROM WITHIN THE PROJECT LIMITS AND LEAVE THE WORK AREA NEAT AND CLEAN. ANY TEMPORARY FILL TO FACILITATE CONSTRUCTION SHALL BE REMOVED AND DISPOSED OF IN A MANNER APPROVED BY THE ENGINEER.
- ALL DISTURBED AREAS (BY WAY OF GRADING, CONSTRUCTION TRAFFIC WEAR, OR ANY OTHER CONSTRUCTION PRACTICE FROM THIS PROJECT) SHALL BE FINISHED WITH TOPSOIL COMBINED WITH SOD. CONTRACTOR TO INCLUDE TEMPORARY IRRIGATION IN BID PRICE.
- IF SUSPECTED CONTAMINATION IS ENCOUNTERED DURING CONSTRUCTION OPERATIONS, N.I.S.D. AND/OR THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY. THE NOTIFICATION SHOULD INCLUDE LOCATION, TYPE OF CONTAMINATED MEDIA, EVIDENCE OF CONTAMINATION AND MEASURES TAKEN TO CONTAIN THE CONTAMINATED MEDIA AND PREVENT PUBLIC ACCESS. THE CONTAMINATED SOIL AND/OR GROUNDWATER SHALL NOT BE REMOVED FROM THE LOCATION WITHOUT PRIOR N.I.S.D.'S OR ENGINEER'S APPROVAL. THE CONTRACTOR MUST STOP THE EXCAVATION IMMEDIATELY AND CONTACT THE OWNER AND/OR ENGINEER. THE CONTRACTOR WILL NOT RE-COMMENCE EXCAVATION ACTIVITIES WITHOUT WRITTEN PERMISSION FROM THE OWNER OR ENGINEER.
- ANY MATERIALS REMOVED AND NOT REUSED (NOT INCLUDING SPOILS) AND DETERMINED TO BE SALVAGEABLE SHALL BE STORED WITHIN THE PROJECT LIMITS AT AN APPROVED LOCATION OR DELIVERED UNDAMAGED TO A STORAGE FACILITY AS DIRECTED. THE SCHOOL HAS FIRST RIGHT AND REFUSAL ON ALL ITEMS REMOVED (IE. TENNIS NETS, NET POSTS, FENCING, BENCHES, ETC.). PROPERLY DISPOSE UNSALVAGEABLE MATERIALS IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ORIGINAL CONDITION, OR BETTER, ANY DAMAGE DONE TO EXISTING BUILDINGS, RETAINING WALLS, UTILITIES, FENCES, PAVEMENT, CURBS, LANDSCAPE, IRRIGATION PIPES, DRIVEWAYS (NO SEPARATE PAY ITEM). CONTRACTOR SHALL RESTORE THE CONSTRUCTION AREA AND STAGING AREAS TO ORIGINAL CONDITION, OR BETTER, PRIOR TO FINAL INSPECTION.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING STREETS AND SIDEWALKS ADJACENT TO THE PROJECT FREE OF MUD AND DEBRIS FROM THE CONSTRUCTION AT ALL TIMES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL EROSION CONTROL FACILITIES BEFORE, DURING AND AFTER ALL CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
- FOR PEDESTRIAN SAFETY, THE CONTRACTOR SHALL INSTALL ORANGE PLASTIC CONSTRUCTION FENCING OR SIGNAGE AROUND THE PROJECT PERIMETER CLEARLY IDENTIFYING THE PROJECT LIMITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY CONSTRUCTION MATERIALS FROM ADJACENT WATERWAYS AFTER A FLOOD EVENT. REPAIR OF ANY DAMAGES TO DRAINAGE STRUCTURES IN THE PROJECT AREA, OR DOWNSTREAM CAUSED BY CONSTRUCTION DEBRIS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO SEE THAT ALL TRAFFIC CONTROL DEVICES (IF NEEDED) ARE PROPERLY INSTALLED AND MAINTAINED AT THE JOB SITE IN ACCORDANCE WITH THE PLANS, SPECIFICATIONS AND RELATED INDUSTRY STANDARDS AND REGULATIONS. THE CONTRACTOR SHALL SUBMIT FOR REVIEW A SIGN AND BARRICADE PLAN CONFORMING TO THE REQUIREMENTS OF TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- ALL PERMANENT SIGNS SALVAGED OR TRAFFIC CONTROL DEVICES MISSING OR DAMAGED UPON COMPLETION OF CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR MUST MAINTAIN ALL STREETS OPEN TO THROUGH TRAFFIC FOR ALL FACILITY VEHICLES AND DELIVERIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SUITABLE ACCESS ACCOMMODATIONS FOR STUDENTS AND PEDESTRIANS.
- ALL TEMPORARY TRAFFIC CONTROL DEVICES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT DIRECT PAYMENT, UNLESS OTHERWISE NOTED OR STATED.
- CONTRACTOR SHALL PROVIDE APPROPRIATE SAFE ACCESS AND BARRICADE WORK AT ALL TIMES TO PROTECT THE PUBLIC. THE SITE MUST BE LEFT IN A SECURE SAFE CONDITION AT NIGHT. THIS INCLUDES SUBSTANTIAL BARRICADES AROUND ALL TRENCHES, OPEN EXCAVATIONS, EQUIPMENT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE NECESSARY PRECAUTIONS TO PROTECT THE PUBLIC THROUGHOUT THE DURATION OF THE PROJECT.
- ALL WASTE, DEMOLISHED MATERIALS, AND EXCAVATED SOILS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE THEIR SOLE RESPONSIBILITY TO DISPOSE OF OFF THE LIMITS OF THE PROJECT AND TO AN APPROPRIATE DISPOSAL SIRE PER LOCAL, STATE, AND FEDERAL REGULATIONS.

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CONTRACTOR SHALL NOT HAVE ANY EQUIPMENT OR STORE ANY MATERIALS (FOR ANY PERIOD OF TIME) ON THE EXISTING PLAY FIELD

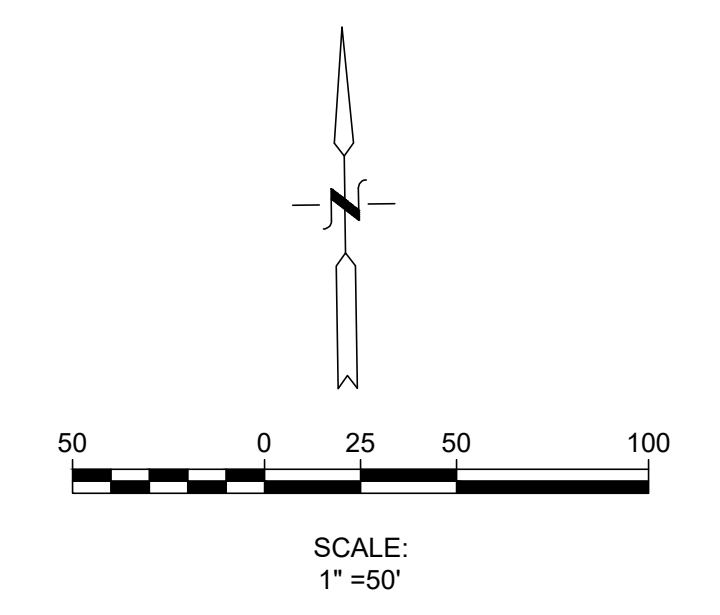
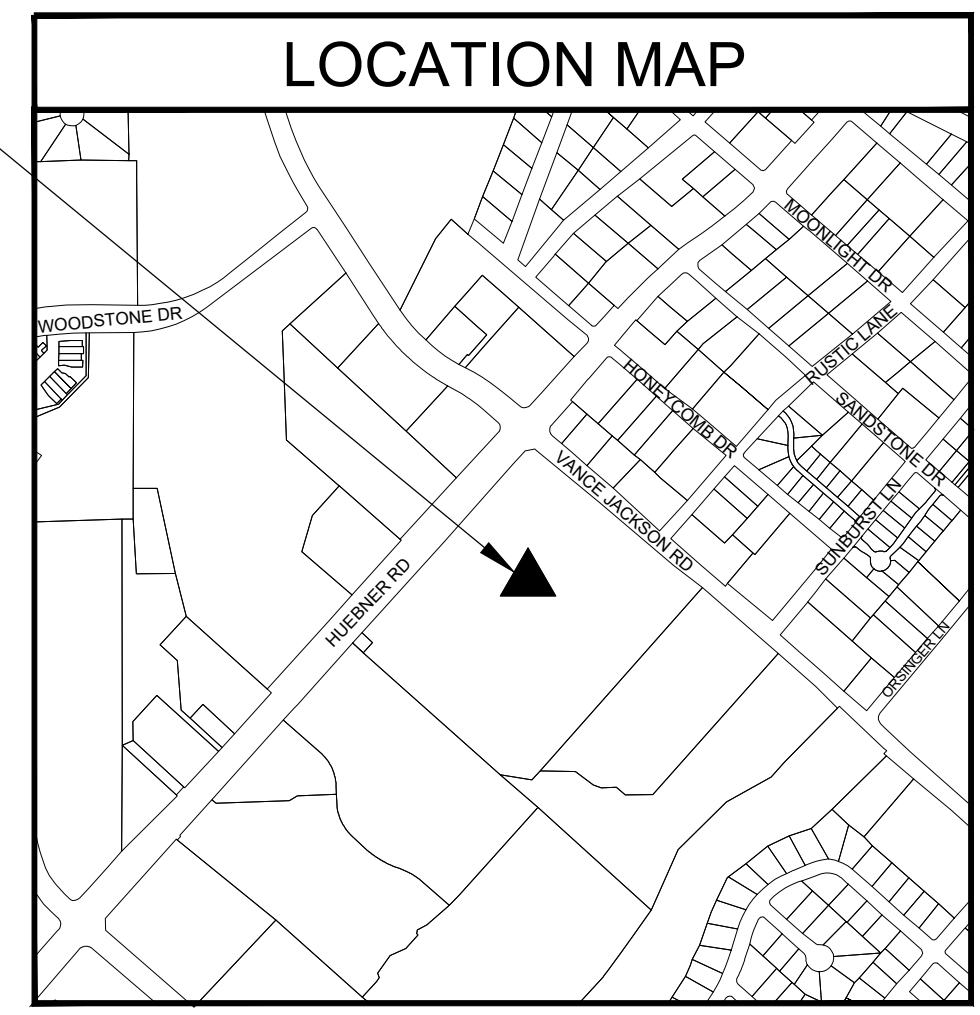
HOBBY MIDDLE SCHOOL
11843 VANCE JACKSON ROAD
SAN ANTONIO, TEXAS 78230

EXIST. ASPHALT TENNIS COURTS

EXIST. BLACKTOP BASKETBALL COURTS

LAY DOWN AREA

HOBBY MIDDLE SCHOOL
11843 VANCE JACKSON ROAD
SAN ANTONIO, TEXAS 78230



LEGEND

EXISTING CONTOUR	— 002 —
LAYDOWN AREA	- - - - -

- WORK COMPLETED BY THE CONTRACTOR WHICH HAS NOT RECEIVED A WORK ORDER OF THE NOTICE TO PROCEED BY N.I.S.D. WILL BE SUBJECT TO REMOVAL AND REPLACEMENT BY AND AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR WILL KEEP THE AREA ON TOP OF AND AROUND THE METER BOXES, CONTROL VALVES, MANHOLE COVERS, WATER VALVES, GAS VALVES, ETC. FREE OF ALL OBJECTS AND DEBRIS.
- NO EQUIPMENT, VEHICLES OR MATERIALS SHALL OPERATE OR BE STORED WITHIN THE ROOT PROTECTION ZONE OF ANY TREE NEAR THE PROJECT. ROOT PROTECTION ZONE IS 1 FOOT OF RADIUS PER INCH OF TREE'S DIAMETER. A 10-INCH DIAMETER TREE WOULD HAVE A 10 FOOT RADIUS ROOT PROTECTION ZONE AROUND THE TREE. ROOTS OR BRANCHES IN CONFLICT WITH THE CONSTRUCTION SHALL BE CUT CLEANLY ACCORDING TO PROPER PRUNING METHODS. OAK WOUNDS SHALL BE PAINTED OVER WITHIN 30 MINUTES TO PREVENT OAK WILT.
- TREES, TREE LIMBS, BUSHES AND SHRUBS WHICH INTERFERE WITH PROPOSED CONSTRUCTION ACTIVITIES SHALL BE PROPERLY PRUNED FOLLOWING THE ANSI A-300 STANDARDS FOR PRUNING. ALL TREE PRUNING SHALL BE COMPLETED BY A TREE MAINTENANCE LICENSED CONTRACTOR ONLY AFTER APPROVAL FROM THE PROJECTS MANAGEMENT.
- ALL DEBRIS GENERATED BY THE PRUNING AND TRIMMING OF THE TREES AND / OR BUSHES SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF PROPERLY (NO SEPARATE PAY ITEM).
- TREES WHICH ARE DAMAGED OR LOST DUE TO THE CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED TO THE OWNERS SATISFACTION.
- TREE PLANTING FOR MITIGATION: ALL PLANTED TREES SHALL BE MAINTAINED IN A HEALTHY CONDITION AT ALL TIMES. THIS INCLUDES IRRIGATION, FERTILIZING, PRUNING AND OTHER MAINTENANCE AS NEEDED ON THE PROJECT. TREES THAT DIE WITHIN TWELVE (12) MONTHS SHALL BE REPLACED WITH A TREE OF EQUAL SIZE AND SPECIES.
- STAGING AREA: COORDINATION WITH N.I.S.D AND HOBBY MIDDLE SCHOOL ADMINISTRATORS IS REQUIRED PRIOR TO PLACEMENT OF DUMPSTERS AND/OR STAGING AREA. SECURITY FENCING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL CONFORM TO THE PROJECT PLANS, SPECIFICATIONS, AND ADDENDA (IF ISSUED). IF THERE IS NO REFERENCE TO A TASK IN THESE DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR GUIDANCE/ CLARIFICATION IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION (RFI) NUMBERED SEQUENTIALLY.
- THESE ARE EXISTING SITES. A SITE SURVEY WAS NOT PERFORMED AND IS INCLUDED AS A PROJECT DRAWING FOR INFORMATION PURPOSES. THIS INFORMATION IS BY NO MEANS COMPLETE AND NO GUARANTEES MADE OR IMPLIED AS TO ITS COMPLETENESS. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE TO AND FOR THE MAINTENANCE AND PROTECTION OF THE EXISTING UTILITIES EVEN IF THEY ARE NOT SHOWN ON THE PLANS. LOCATION AND DEPTH OF EXISTING UTILITIES SHOWN HERE ARE APPROXIMATE ONLY. ACTUAL LOCATIONS AND DEPTHS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES DURING CONSTRUCTION.
- THIS WORK IS TO BE DONE IN AND AROUND OCCUPIED BUILDINGS. THE CONTRACTOR SHALL CONFINE THEIR OPERATIONS TO THE IMMEDIATE WORK AREA AND SHALL PROVIDE FOR THE SAFETY OF PERSONS AND PROPERTY. EXISTING VEGETATION, PLANTS, SHRUBS, TREES AND GRASS, ETC., SHALL BE PROTECTED AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING TO ITS ORIGINAL, OR BETTER CONDITION, ANY DAMAGE DONE TO STREETS, PARKING AREAS, CURBS, WALKS, DRIVES, FENCES, ETC. REPA
- CONTRACTOR SHALL NOTIFY ENGINEER FOR INSPECTION OF WORK BEFORE CONTINUING AND COMPLETION.
- ANY CHANGES IN THE SCOPE OF THE WORK SHALL BE APPROVED BY THE OWNER BEFORE THE CONTRACTOR COMMENCES WITH THE CHANGES.
- CONTRACTOR IS REQUIRED TO RE-STRIPE PARKING AREAS DAMAGED BY PLACEMENT OF MATERIAL IN STAGING AREAS.
- CONTRACTOR SHALL BE CAUTIONED THERE ARE SPRINKLER LINES, VALVES, WIRES, THROUGHOUT THE CAMPUS.
- CONTRACTOR TO EXERCISE CAUTION AROUND SPRINKLER HEADS AND VALVE BOXES THROUGHOUT THE PROJECT LIMITS. IF THERE SHOULD BE DAMAGE TO SPRINKLER HEADS, IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO REPAIR OR REPLACE HEADS AND/OR VALVE BOXES.
- CONTRACTOR TO REFER TO SPECIAL CONDITIONS IN THE CONSTRUCTION SPECIFICATIONS
- A JOB TRAILER OR PROJECT SIGN IS NOT REQUIRED FOR THIS PROJECT.
- IT IS IMPERATIVE FOR THE CONTRACTOR TO VISIT THE SITE TO VERIFY QUANTITIES AND EXISTING CONDITION OF THE TENNIS COURTS PRIOR TO PLACING BID.
- CONTRACTOR SHALL PROVIDE TRAFFIC/PEDESTRIAN CONTROL FENCING FOR PROTECTION DURING SCHOOL YEAR.
- LAY DOWN AREA TO BE RESTORED TO EXISTING CONDITIONS OR BETTER.
- CONTRACTOR TO COORDINATE STAGING AREA, CONTRACTOR PARKING, PROPOSED SITE WORK, AND DELIVERIES WITH HOBBY MIDDLE SCHOOL ADMINISTRATION AND OTHER CONTRACTORS ON-SITE.

EXISTING SITE PLAN

NORTHSIDE INDEPENDENT SCHOOL DISTRICT
5900 EVERS ROAD
SAN ANTONIO, TEXAS 78238
210-647-2100

BAIN MEDINA BAIN, INC.
ENGINEERS & SURVEYORS
7073 SAN PEDRO AVE.
SAN ANTONIO, TEXAS, 78216
210-494-7223
TBPE NO. E-1712
TBPLS NO. 10020900

Revisions/ Submissions:	
Date:	

NORTHSIDE INDEPENDENT SCHOOL DISTRICT
RFCSP #2025-008
TENNIS COURT UPGRADES AT BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS

Designed By: RR
Drawn By: RR
Date: 01/26/25
BMB Project No.: C-1527.26
Filename:

1 01/26/25 ADDENDUM 2: CLARIFIED GENERAL NOTE



R. Rincon
01/26/2025

SHEET
C-1.0H

Date: 01/26/25, 2:49 PM, User: Dr. Rincon, Path: \\bmb\cadd\2025\25-008\Tennis Court Upgrades at Brennan, Hobby, Rudder - NSID\Design\008\Construction Documents\C-1.0H_EXISTING SITE PLAN - HOBBY.dwg



NORTHSIDE INDEPENDENT SCHOOL DISTRICT
ADDENDUM No. 3

PROJECT NAME: TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS

RFCSP# 2025-008

DATE: 01/27/2025

This Addendum 3 shall be included in and considered part of the solicitation documents for the construction of the Tennis Court Upgrades at William J. Brennen HS, William P. Hobby MS, & Earl Rudder MS project. This addendum is separated into sections for convenience, however, all contractors, subcontractors, material men, and other parties shall be responsible for reading the entire addendum. The failure to list an item or items in all affected sections of this addendum does not relieve any party affected from performing as per instructions, providing that the information is set forth one time any place in this addendum. These documents shall be attached to and become part of the Contract Documents for this project. The contractor shall be required to acknowledge the receipt of this addendum by signing the Addendum No. 3 Acknowledgement Form (attached hereto) and submit with its bid.

GENERAL:

1. The following changes and/or additions to the Contract Documents, via this addendum, shall apply to proposals made for and to the execution of the various part of the work affected thereby.
2. Careful note of the Addendum shall be taken by all interested parties and all trades affected shall be fully advised in their performance of the work involved.

APPROVED EQUAL ITEMS (SUBSTITUTIONS):

1. Plexipave: New surface on existing tennis courts, as manufactured by ICP Building Solutions Group, 150 Dascomb Rd., Andover, MA 01810. 800-225-1141. This item is an approved equal for the tennis court surfacing acrylic material as specified in Section 32 18 23.53 Tennis Court Surface and Components in the project specifications manual.

ATTACHMENTS:

- None

END OF ADDENDUM NO. 3



ACKNOWLEDGEMENT FORM

RECEIPT OF ADDENDUM NUMBER(S) 3 IS HEREBY ACKNOWLEDGED BY THE UNDERSIGNED REGARDING THE SOLICITATION OF THE CONSTRUCTION OF **TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS** FOR WHICH BIDS ARE SCHEDULED TO BE OPENED ON **TUESDAY, FEBRUARY 04, 2025 AT 2:00 P.M.**

THIS ACKNOWLEDGEMENT FORM MUST BE SIGNED AND RETURNED WITH CONTRACTOR'S BID PACKAGE.

Company Name: _____

Address: _____

City/State/Zip Code: _____

Date: _____

Signature

Print Name/Title



NORTHSIDE INDEPENDENT SCHOOL DISTRICT

ADDENDUM No. 4

PROJECT NAME: TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS

RFCSP# 2025-008

DATE: 01/28/2025

This Addendum 4 shall be included in and considered part of the solicitation documents for the construction of the Tennis Court Upgrades at William J. Brennen HS, William P. Hobby MS, & Earl Rudder MS project. This addendum is separated into sections for convenience, however, all contractors, subcontractors, material men, and other parties shall be responsible for reading the entire addendum. The failure to list an item or items in all affected sections of this addendum does not relieve any party affected from performing as per instructions, providing that the information is set forth one time any place in this addendum. These documents shall be attached to and become part of the Contract Documents for this project. The contractor shall be required to acknowledge the receipt of this addendum by signing the Addendum No. 4 Acknowledgement Form (attached hereto) and submit with its bid.

GENERAL:

1. The following changes and/or additions to the Contract Documents, via this addendum, shall apply to proposals made for and to the execution of the various part of the work affected thereby.
2. Careful note of the Addendum shall be taken by all interested parties and all trades affected shall be fully advised in their performance of the work involved.

QUESTIONS:

1. In numerous locations in the specifications the material testing is shown to be by a testing lab selected by the owner (it does not say who pays for it). In section 01 21 00 paragraph 1.4 INSPECTING AND TESTING ALLOWANCES, sub-paragraph "A. Inspection and Testing Fees shall be paid for by the General Contractor unless noted otherwise.". I don't see a Testing Allowance. It is part of the 20K allowance?

Response: Material testing will be paid by the owner.

2. Is detail 7 on C-8.0H for the tennis court only?

Response: Detail 7 on sheet C-8.0H is for the tennis court section only. See attached revised section.

3. Is detail 8 on C8.0H for Alternate #1 and keynote 6 on C3.0H?

Response: Yes, detail 8 is for work under add alternate #1 and the asphalt walkway shown on sheet C-3.0H denoted as #6 in the keynotes.



4. The specifications reference “quick start” lines but there are no “quick start” line work on the plans.

Response: There will be no quick start striping on this project.

5. On C-4.0H keynote 6 “Existing Masonry Wall to be repainted green”. Do you have any specs? Prime it? Remove old paint? One or two coats?. Paint both sides of the wall?

Response: The old paint shall be removed/power-washed removing the old paint. After cleaning and drying, a water-based water proof latex primer should be used. Apply 2 coats of paint on both sides of the wall. The paint shall be a water-based acrylic paint.

6. I believe the scale on C-2R should be 1”=10’

Response: Correct, the scale should be 1”=10’

PLANS:

1. Sheet C-8.0H Civil Details: Revised pavement sections

ATTACHMENTS:

- Sheet C-8.0H Civil Details

END OF ADDENDUM NO. 4



ACKNOWLEDGEMENT FORM

RECEIPT OF ADDENDUM NUMBER(S) 4 IS HEREBY ACKNOWLEDGED BY THE UNDERSIGNED REGARDING THE SOLICITATION OF THE CONSTRUCTION OF **TENNIS COURT UPGRADES AT WILLIAM J. BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS** FOR WHICH BIDS ARE SCHEDULED TO BE OPENED ON **TUESDAY, FEBRUARY 04, 2025 AT 2:00 P.M.**

THIS ACKNOWLEDGEMENT FORM MUST BE SIGNED AND RETURNED WITH CONTRACTOR'S BID PACKAGE.

Company Name: _____

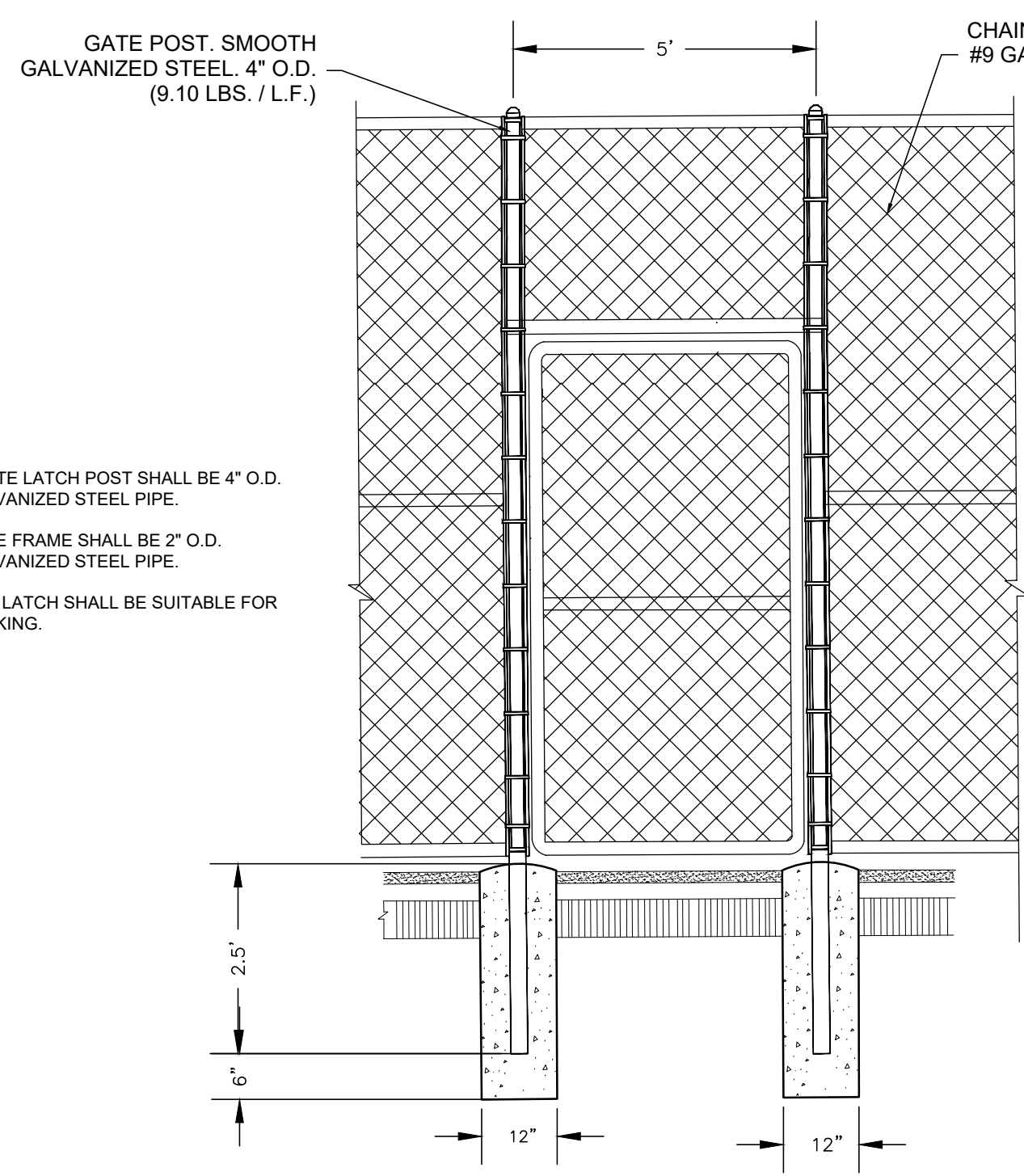
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City/State/Zip Code: _____

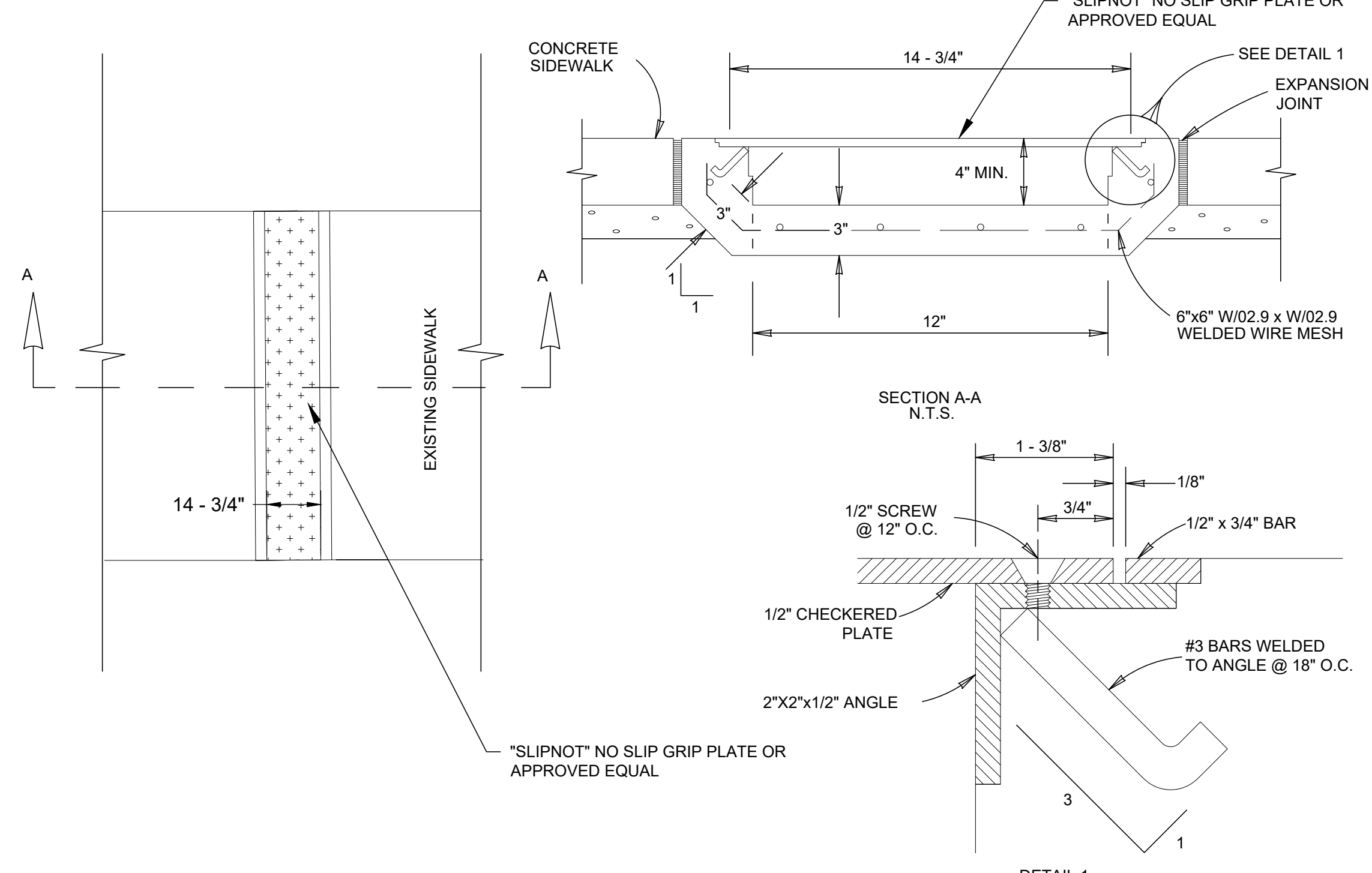
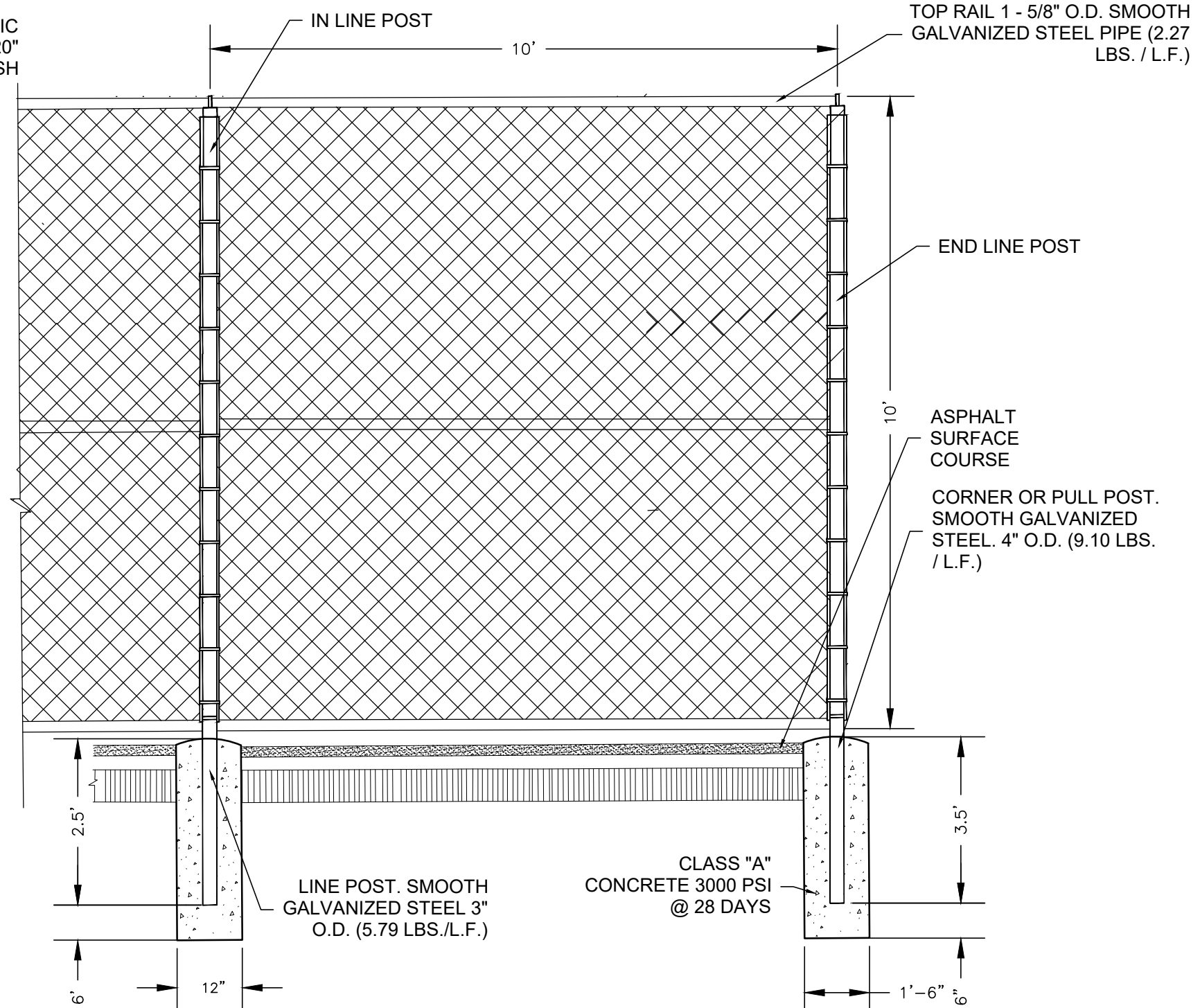
Date: _____

Signature

Print Name/Title

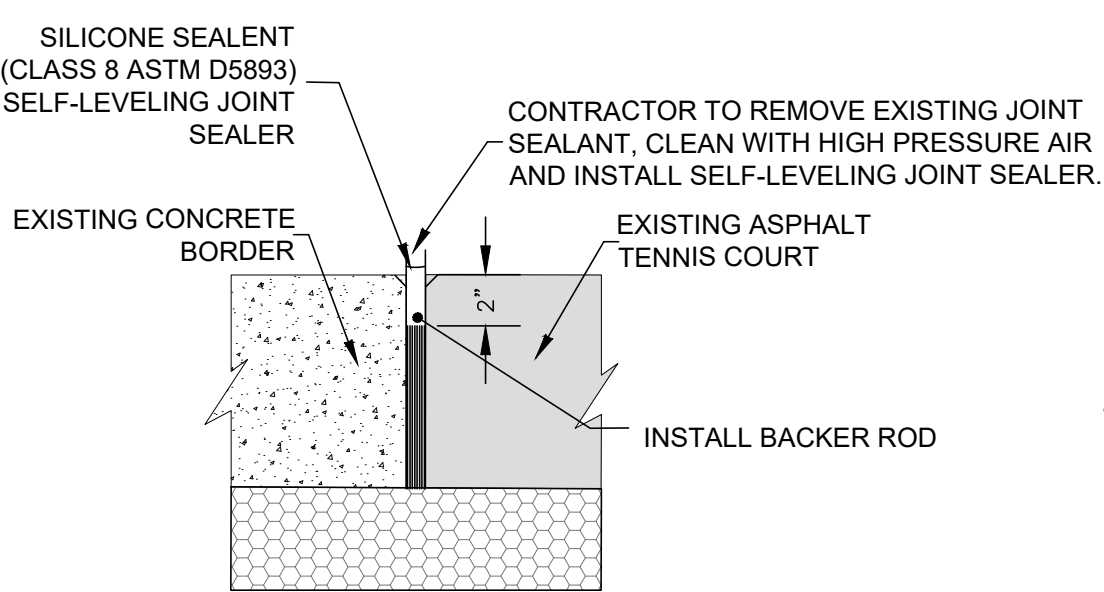


- NOTES:
1. GATE LATCH POST SHALL BE 4" O.D. GALVANIZED STEEL PIPE.
 2. GATE FRAME SHALL BE 2" O.D. GALVANIZED STEEL PIPE.
 3. GATE LATCH SHALL BE SUITABLE FOR LOCKING.

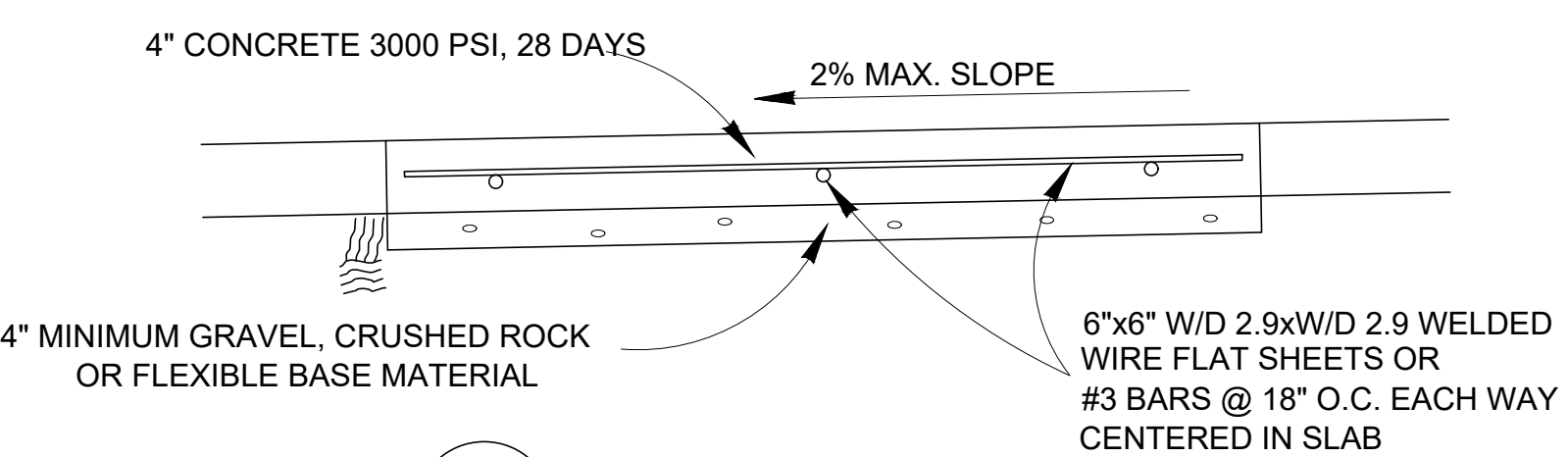


1 TYPICAL FENCE ELEV. AT TENNIS COURTS
N.T.S.

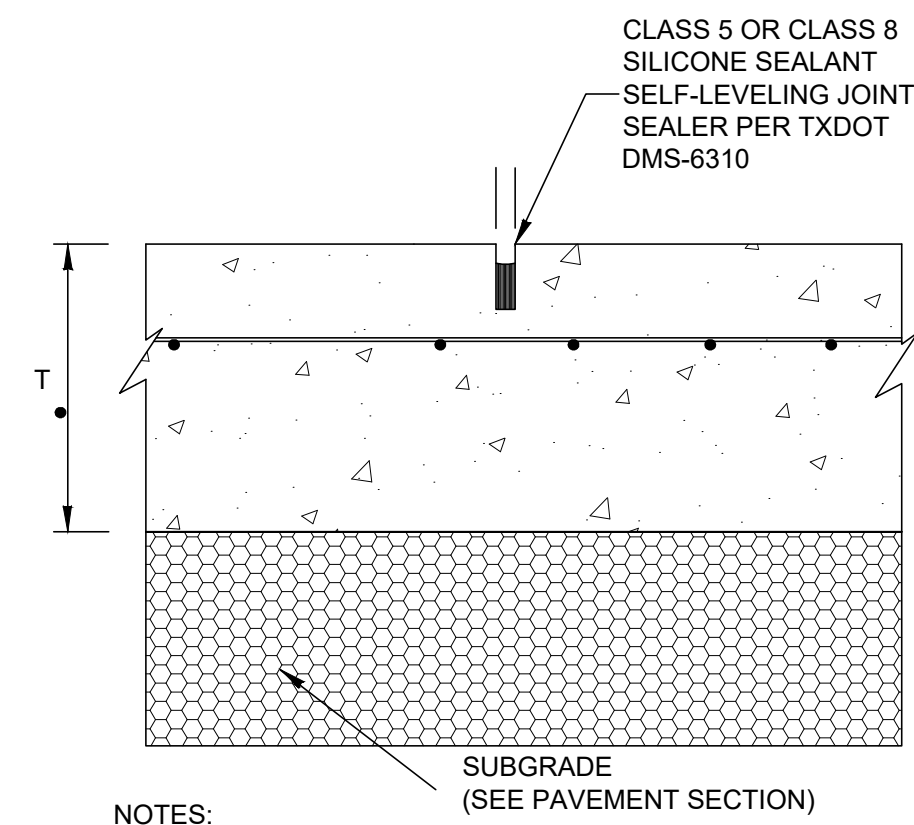
2 12" WIDE SIDEWALK DRAIN BOX DETAIL
N.T.S.



3 PERIMETER JOINT DETAIL
N.T.S.

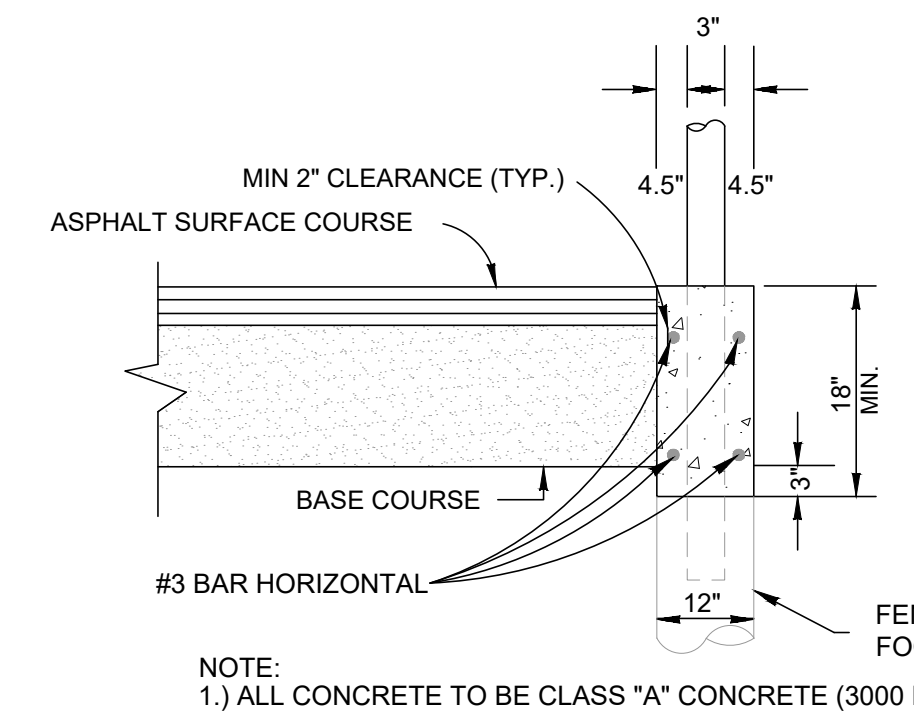


4 CONCRETE SIDEWALK SECTION
N.T.S.



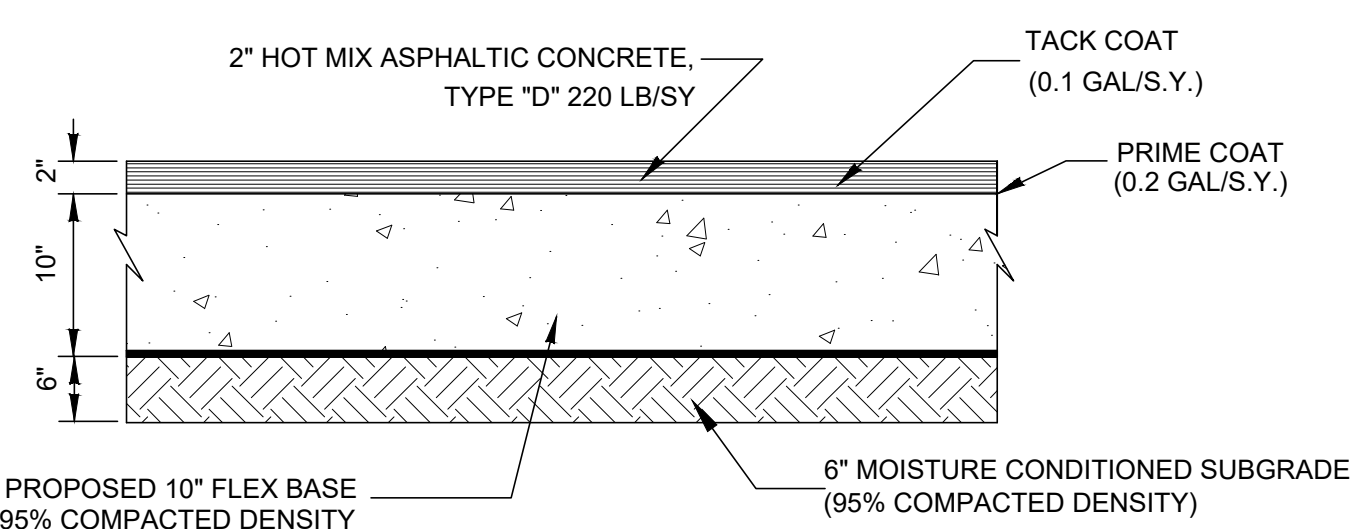
- NOTES:
1. JOINT SPACING TO NOT EXCEED 15' EACH WAY FOR 6" THICK CONCRETE.
 2. JOINT SPACING TO NOT EXCEED 12' EACH WAY FOR 5" THICK CONCRETE.

5 CONTRACTION JOINT
N.T.S.
T-DENOTES CONCRETE THICKNESS

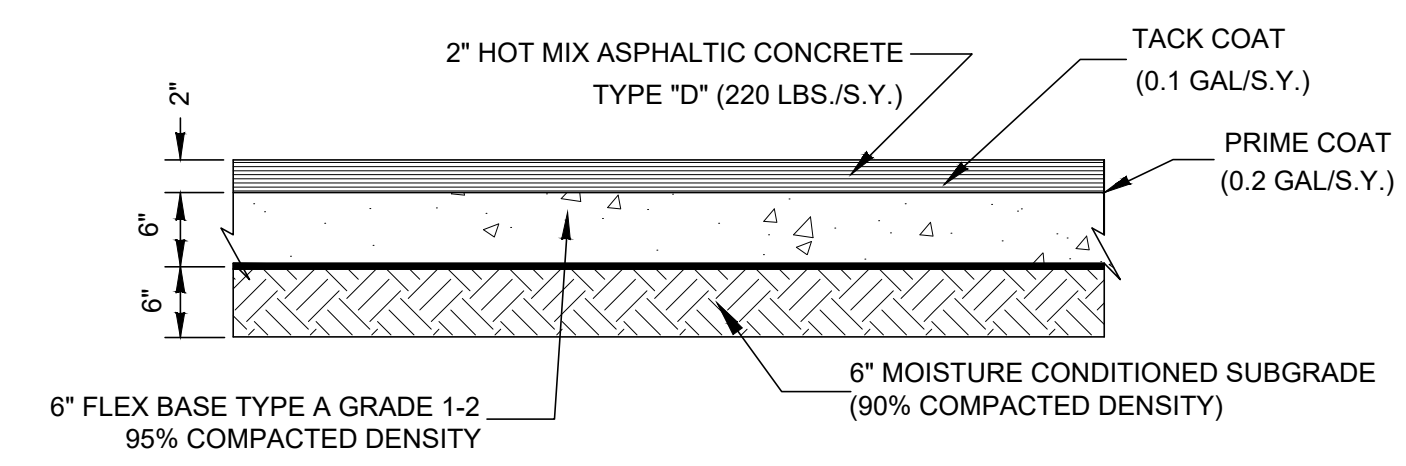


- NOTE:
- 1.) ALL CONCRETE TO BE CLASS "A" CONCRETE (3000 PSI AT 28 DAYS)

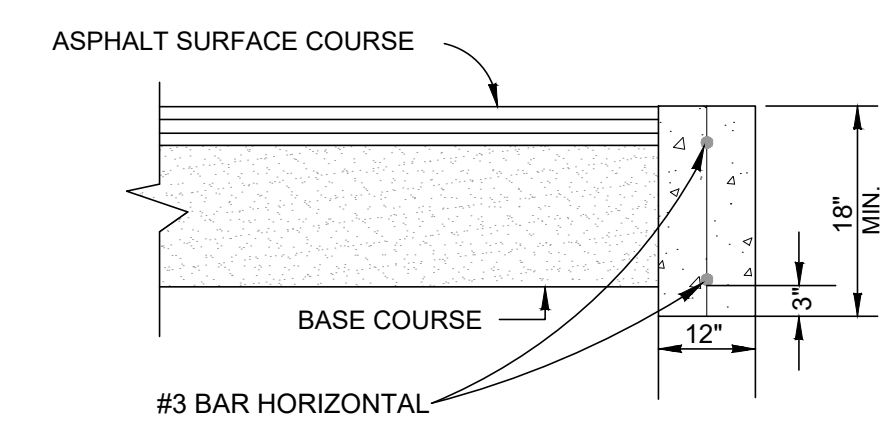
6 CONCRETE FLUSH CURB AT FENCE POST
N.T.S.



7 ASPHALT PAVEMENT SECTION DETAIL (TENNIS COURT)
N.T.S.

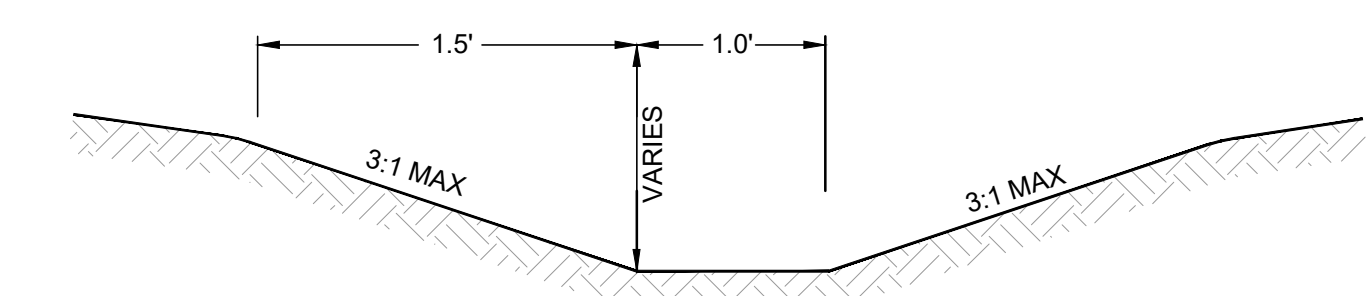


8 ASPHALT SECTION DETAIL (ADD ALT 1 SCOPE & ASPHALT WALKWAY)
N.T.S.



- NOTE:
- 1.) ALL CONCRETE TO BE CLASS "A" CONCRETE (3000 PSI AT 28 DAYS)

9 CONCRETE FLUSH CURB
N.T.S.



- NOTE: SWALE WIDTH IS TYPICALLY 4.0' UNLESS NOTED ON PLANS

10 TYPICAL SWALE DETAIL
N.T.S.

1 01/28/25 ADDENDUM 4:
REVISED PAVEMENT SECTIONS



Revisions/Submissions:

No.	Description	Date

NORTHSIDE INDEPENDENT SCHOOL DISTRICT
RFCSP #2025-008
TENNIS COURT UPGRADES AT BRENNAN HS, WILLIAM P. HOBBY MS, & EARL RUDDER MS

Designed By: RR
Drawn By: RR
Date: 01/28/25
BMB Project No.: C-1527.26
Filename:

SHEET
C-8.0H